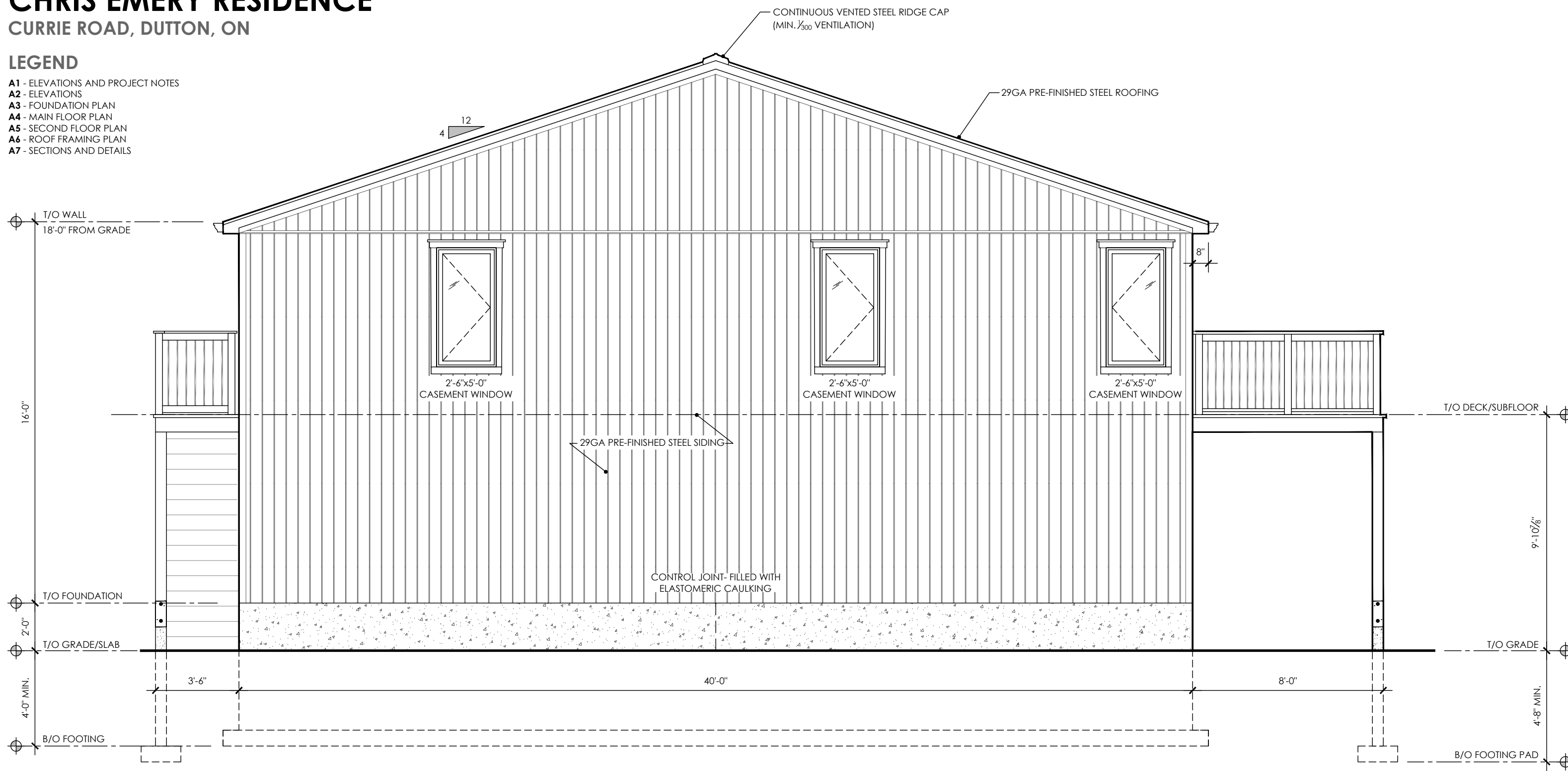


CHRIS EMERY RESIDENCE

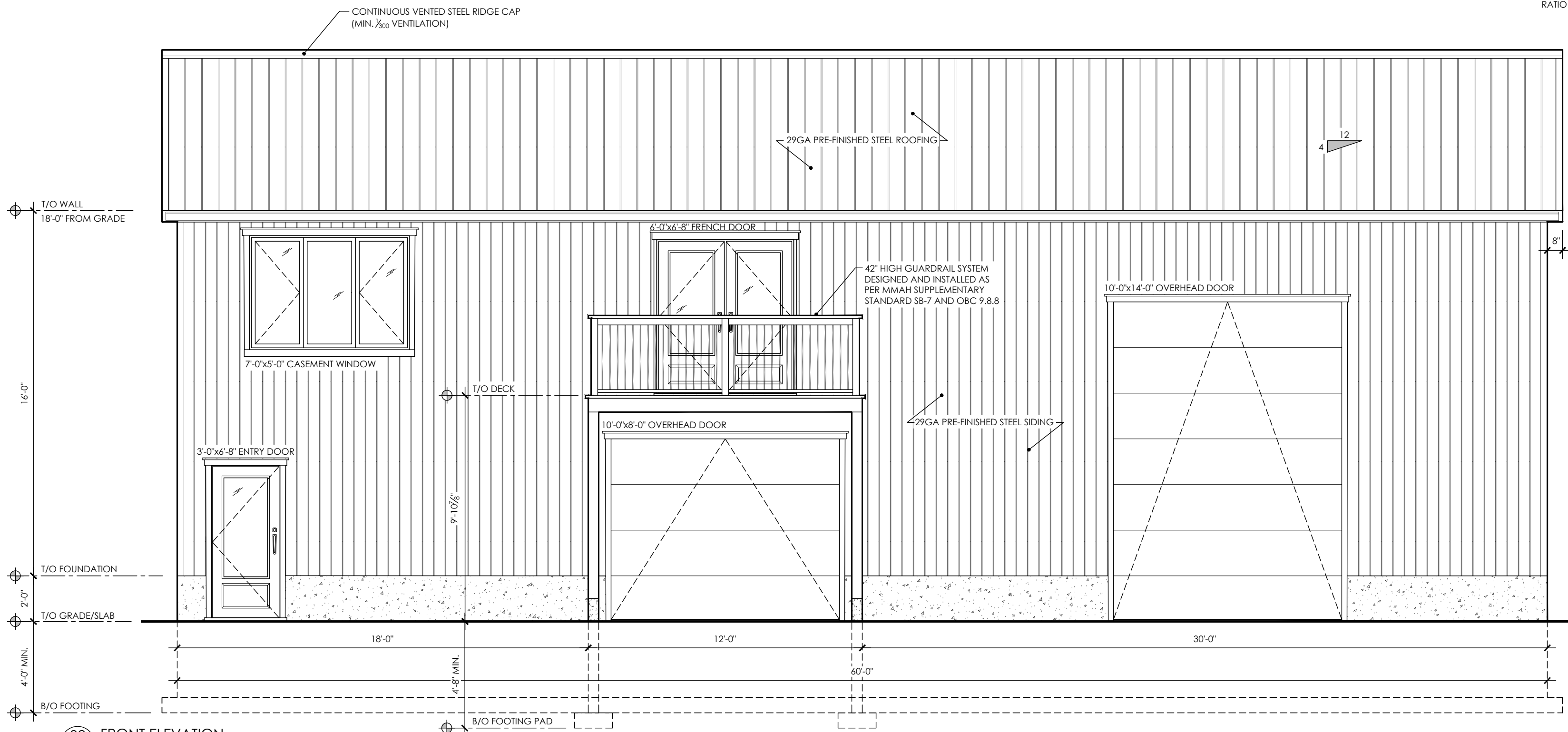
CURRIE ROAD, DUTTON, ON

LEGEND

- A1 - ELEVATIONS AND PROJECT NOTES
- A2 - ELEVATIONS
- A3 - FOUNDATION PLAN
- A4 - MAIN FLOOR PLAN
- A5 - SECOND FLOOR PLAN
- A6 - ROOF FRAMING PLAN
- A7 - SECTIONS AND DETAILS



01 LEFT ELEVATION
SCALE: 1/2" = 1'-0"



02 FRONT ELEVATION
SCALE: 1/2" = 1'-0"

DESIGN NOTES

GROUND SNOW LOAD - 1.3kpa / 27.2psf (DUTTON)
DEAD LOAD - 0.5kpa (10psf)
SNOW REDUCTION FACTOR - 0.80kPa
WIND LOAD 1/50 - 0.43kPa (8.9psf)

ALL CONSTRUCTION TO CONFORM TO OBC 2012 PART 9
CONTRACTOR TO REFER TO APPLICABLE CODES LISTED FOR MIN.
CONSTRUCTION REQUIREMENTS, PROJECT SITE CONDITIONS AND
APPLICABLE PROJECT DESIGN.
MIN. FOUNDATION CONCRETE STRENGTH (28 DAY) - 20mpa
STEEL STRENGTH - 400mpa (60 KSI)
ASSUMED SOIL BEARING CAPACITY - 75Kpa

ROOF NOTES

ROOF CONSTRUCTION AND FLASHING TO COMPLY WITH OBC
2012 9.26

ROOF SPACES TO COMPLY WITH OBC 2012 9.19

UNOBSTRUCTED VENT AREA TO BE NOT LESS THAN 1/500 OF THE
INSULATED CEILING AREA.

GENERAL NOTES

ALL CONSTRUCTION MATERIALS AND EQUIPMENT TO ADHERE TO
THE LATEST EDITION OF OBC AND LOCAL BYLAWS.

ALL STRUCTURAL ELEMENTS NOT OBTAINABLE THROUGH OBC
CHARTS TO BE P.ENG. APPROVED PRIOR TO CONSTRUCTION.

ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL.

ALL EXTERIOR FOUNDATION WALLS TO EXTEND DOWN BELOW
LOCAL FROST LEVELS (4'-0" MINIMUM COVER).

1 1/2" MIN. CONCRETE REBAR COVERAGE.

ROOF TRUSS AND GIRDER DESIGN BY TRUSS MANUFACTURER.

PROVIDE TEMPORARY BRACING FOR ALL COLUMNS AND WALLS
UNTIL FINAL BRACING IS COMPLETE.

ALL EXCAVATION WORK TO COMPLY WITH OBC 9.12

ENERGY EFFICIENCY DESIGN

ENERGY EFFICIENCY AS PER OBC 2012 SB-12 TABLE
3.1.1.2.A (IP)

ZONE 1 - COMPLIANCE PACKAGE FOR SPACE HEATING
EQUIPMENT WITH AFUE => 96%

COMPLIANCE PACKAGE A1
CEILING WITH ATTIC SPACE - MIN. R60, MIN. EFFECTIVE R59.22
CEILING WITHOUT ATTIC SPACE - MIN. R31, MIN. EFFECTIVE R27.65
EXPOSED FLOOR - MIN. R31, MIN. EFFECTIVE R29.8
WALLS ABOVE GRADE - MIN. R22, MIN. EFFECTIVE R17.03
BASEMENT WALLS - MIN. R12 + R10CL, MIN. EFFECTIVE R21.12
HEATED SLAB - MIN. R10, MIN. EFFECTIVE R11.13
EDGE OF BELOW GRADE SLAB - MIN R10

WINDOWS AND SLIDING GLASS DOORS
MAXIMUM U VALUE - 0.28
ENERGY RATING - 25

SKYLIGHTS - MAX. U VALUE - 0.49
SPACE HEATING EQUIPMENT MIN. AFUE - 96%
HRV MINIMUM SRE - 75%
DOMESTIC WATER HEATER - 0.80

GROSS WALL TO GROSS WINDOW R.S.O RATIO

GROSS WALL AREA - 1,260 SQ.FT
GROSS WINDOWS, SIDELIGHTS, ETC. - 160 SQ.FT
RATIO - 12.7%

BUILDING AREA

RESIDENCE FLOOR AREA - 1,117 SQ.FT.
BUILDING FOOTPRINT - 2,559 SQ.FT.

CONSTRUCTION NOTES

ALL EXCAVATION WORK TO COMPLY WITH OBC 2012 SECTION 9.12
MIN. FROST COVER TO BE 4'-0" TO U/S OF FOOTING

BOTTOM OF EXCAVATION TO BE FREE OF ALL ORGANIC MATERIAL
EXCAVATION TO EXTEND TO UNDISTURBED SOIL.

ALL ENGINEERED FILL TO BE DESIGNED AND APPROVED BY A
CERTIFIED SOIL CONSULTANT.

DAMP-PROOFING, WATER-PROOFING AND SOIL GAS CONTROL TO
COMPLY WITH OBC 2012 SECTION 9.13

ALL DRAINAGE WORK, APPLICATION AND DISPOSAL OF TO COMPLY
WITH OBC 2012 SECTION 9.14

FOOTINGS AND FOUNDATIONS TO COMPLY WITH OBC 2012 9.15
ALLOWABLE BEARING PRESSURE TO BE GREATER THAN 75 KPA

STEP FOOTINGS
VERTICAL RISE FOR STEP FOOTINGS TO BE 16" MAXIMUM FOR SANDY
SOIL/GRAVEL AND 24" MAXIMUM FOR FIRM SOIL.
HORIZONTAL DISTANCE BETWEEN RISERS SHALL BE 24" MINIMUM.

20 MPA FOUNDATION WALLS LATERALLY UNSUPPORTED AT TOP
MAX. HEIGHT OF FINISH GROUND ABOVE BASEMENT FLOOR
8" WIDTH = 3'-11" 10" WIDTH = 4'-7" (< 9'-10" FND WALL HEIGHT)

20 MPA FOUNDATION WALLS LATERALLY SUPPORTED AT TOP
MAX. HEIGHT OF FINISH GROUND ABOVE BASEMENT FLOOR
8" WIDTH = 7'-7" 10" WIDTH = 7'-7" (< 8'-2" FND WALL HEIGHT)
8" WIDTH = 7'-7" 10" WIDTH = 8'-6" (> 8'-2" AND < 9'-0" FND WALL HEIGHT)
8" WIDTH = 7'-2" 10" WIDTH = 9'-4" (> 9'-0" AND < 9'-10" FND WALL HEIGHT)

SLABS ON GROUND TO COMPLY WITH OBC 2012 9.16

COLUMNS TO COMPLY WITH OBC 2012 9.17. ALL COLUMNS TO BE
CENTERED ON FOOTINGS AND FASTENED TO SUPPORTED MEMBER
TO PREVENT LATERAL MOVEMENT.

WALL NOTES

WOOD FRAMED CONSTRUCTION TO COMPLY WITH OBC 2012 9.23

WOOD FRAMING SPANS AND SIZES TO CONFORM TO THE SPANS
SHOWN ON TABLES A-1 TO A-16 INCLUDING ALL APPLICABLE
FOOTNOTES.

END BEARING OF JOISTS AND RAFTERS - 1 1/2" MINIMUM.

HEAT TRANSFER, AIR LEAKAGE AND CONDENSATION CONTROL TO
COMPLY WITH OBC 9.25

ALL SIDING TO COMPLY WITH OBC 2012 9.27

EXTERIOR WALLS INSULATION AS PER EEDS SUMMARY.

ALL VAPOUR BARRIER TO BE MIN 6MIL POLY.

AIR/VAPOUR BARRIER TO BE SEALED AS PER OBC 2012.

DOORS AND WINDOWS TO COMPLY WITH FORCED ENTRY
REQUIREMENTS AS PER OBC 2012 9.6.8

FLOOR LEVELS CONTAINING BEDROOMS TO HAVE ON OPENING
EGRESS WINDOWS TO HAVE UNOBSTRUCTED AREA OF 3.8 SQ. FT.
WITH NO DIMENSIONS LESS THAN 15".

ALL ATTACHED GARAGES TO HAVE GAS PROOF WALLS.

PLUMBING FACILITIES AS PER OBC 9.31

VENTILATION AS PER OBC 9.32

HEATING AND AIR CONDITIONING AS PER OBC 9.33

ELECTRICAL FACILITIES AS PER OBC 9.34

FLOOR NOTES

ALL FLOORS EXPOSED TO UNHEATED SPACE TO HAVE
MIN. R31 INSULATION.

PROVIDE A MOISTURE BARRIER BETWEEN ALL WOOD IN
CONTACT WITH CONCRETE.

PROVIDE A FOAM GASKET UNDER ALL FLOOR AND WALL
SILL PLATES.

PROVIDE 1/2" Dia. ANCHOR BOLTS AT 7'-10" MAX. CAST IN
PLACE MIN. 4" INTO FOUNDATION

SUPPLIER:

RONA
DEALER OWNED
RODNEY
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BCIN:

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TEL: (519) 351-9812
FAX: (519) 351-5528

IND - 20529 FIRM - 29635

DRAWINGS ARE TO BE READ AND NOT SCALED.
CLIENTS AND CONTRACTORS SHALL REVIEW ALL
DRAWINGS AND VERIFY ALL DIMENSIONS.
REPORT ANY DISCREPANCIES TO THE DESIGNER
BEFORE PROCEEDING.

REV.	DATE	DESCRIPTION
1	SEPT 22 2023	PRELIMINARY DRAWINGS
2	JAN 7 2024	PERMIT DRAWINGS
3	APR 7 2024	FOUNDATION REVISION (24" Conc. Curb) + 16" STUD)
4		

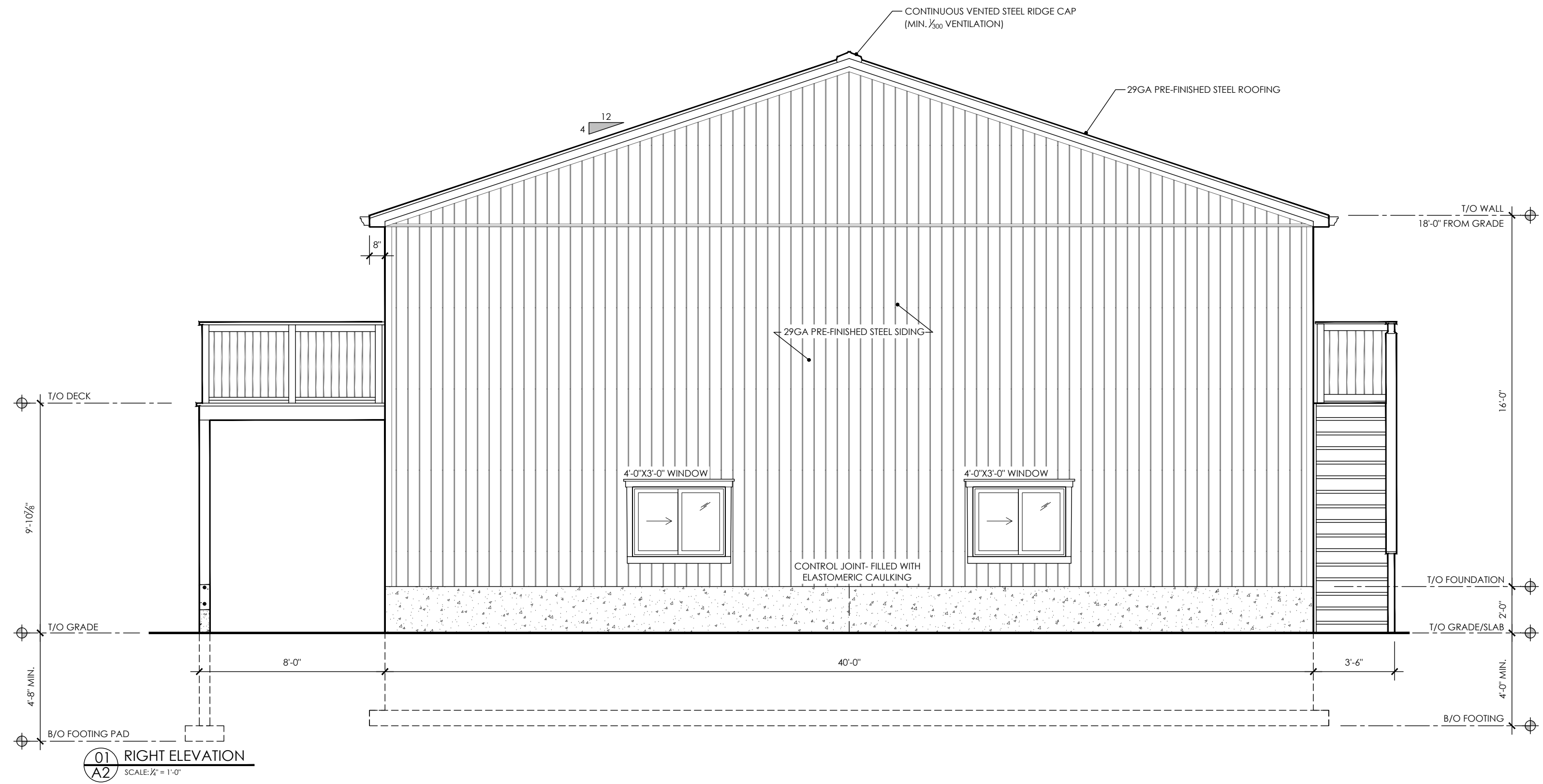


CHRIS EMERY RESIDENCE
CURRIE ROAD, DUTTON, ON

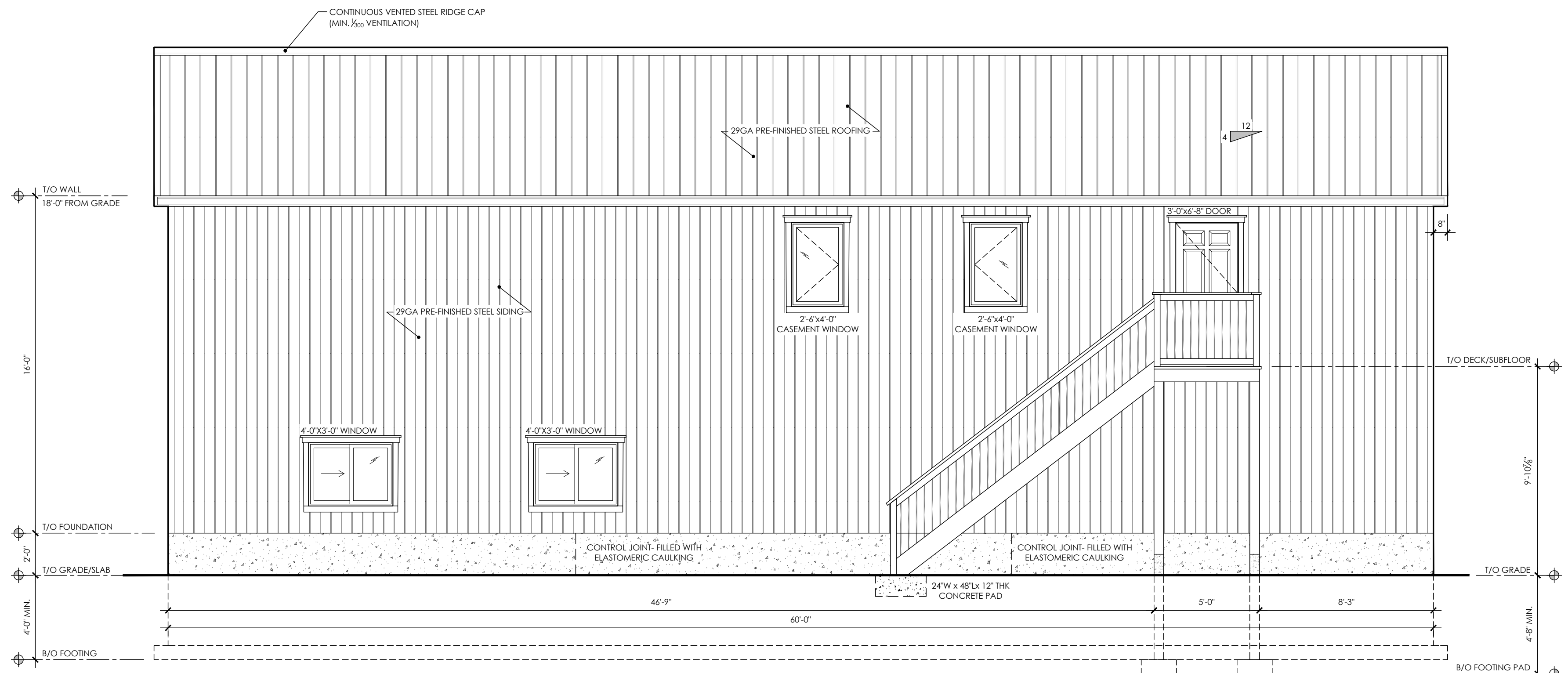
ELEVATIONS AND PROJECT NOTES

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REVIEWED BY: Y.C. LIU
DATE: APRIL 3, 2024
SHEET: 1 OF 7

A1



01 RIGHT ELEVATION
SCALE: 1/2" = 1'-0"



02 REAR ELEVATION
SCALE: 1/2" = 1'-0"

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4		

CHRIS EMERY RESIDENCE
CURRIE ROAD, DUTTON, ON

ELEVATIONS
SCALE: AS NOTED

DRAWN BY: M.VAN RAAY
REVIEWED BY: Y.C. LIU
DATE: APRIL 3, 2024
SHEET: 2 OF 7

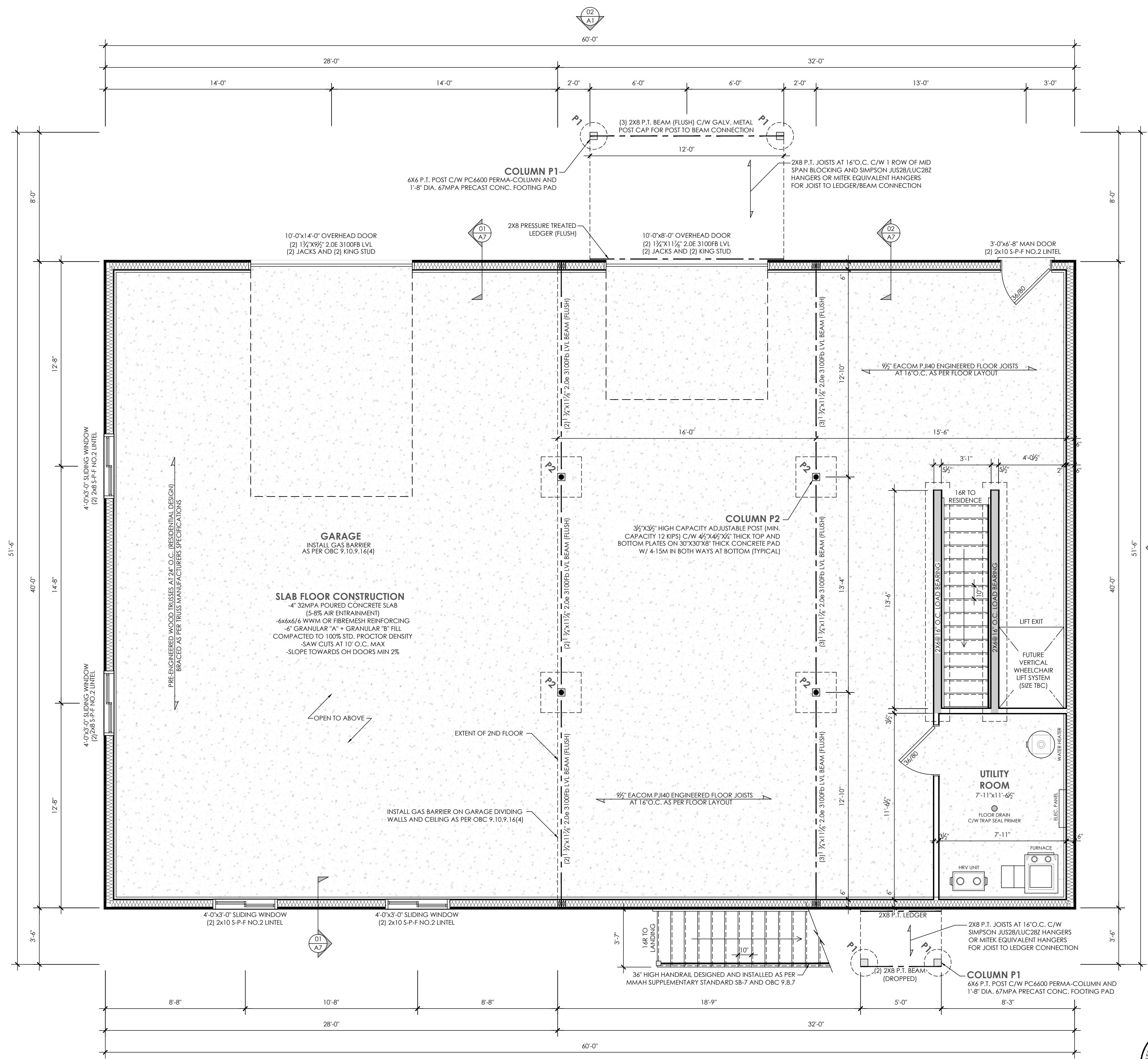
A2



STAIRS SPECIFICATIONS
(TYPICAL UNLESS NOTED OTHERWISE)

RISE - 7 1/2" MAX.
RUN - 10" MIN.
NOISING - 1" MIN.
HEADROOM - 6'-5" MIN.
HANDRAILS - 32" MIN. TO 36" MAX.
GUARDRAILS - 35" MIN. TO 42" MAX.
PICKETS TO HAVE 4" MAX. SPACE BETWEEN.

OPEN HANDRAILS AND ALL ATTACHMENT OF GUARDS AND RAILS AS PER SUPPLEMENTARY GUIDE LINE TO OBC 2012, SECTIONS S87.



01 MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"



SUPPLIER:

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4		

CHRIS EMERY RESIDENCE
CURRIE ROAD, DUTTON, ON

MAIN FLOOR PLAN

DRAWN BY: M.VAN RAAY SCALE: AS NOTED
REVIEWED BY: Y.C. LIU
DATE: APRIL 3, 2024
SHEET: 4 OF 7

A4

STAIRS SPECIFICATIONS
(TYPICAL UNLESS NOTED OTHERWISE)

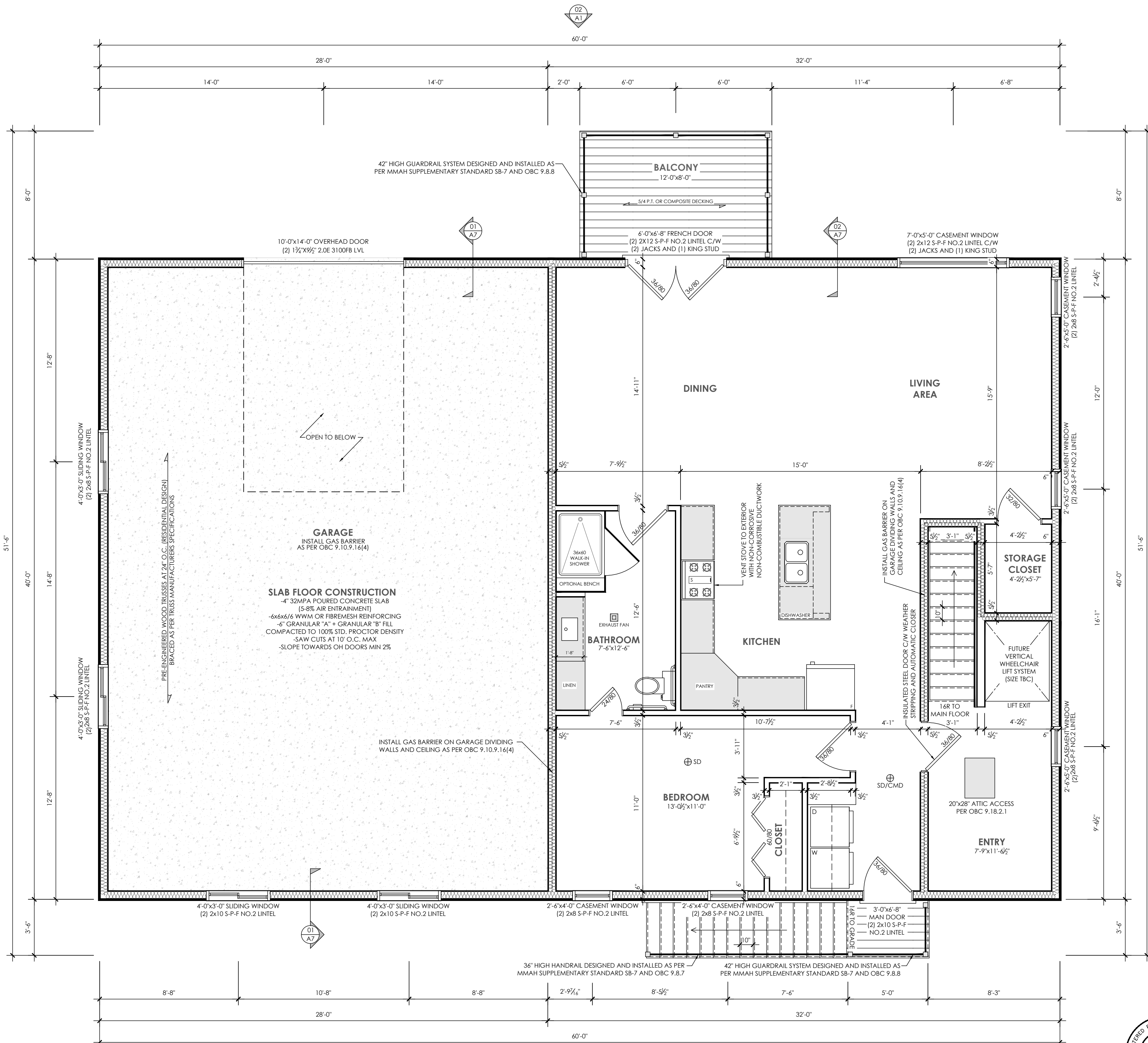
RISE - 7 1/2" MAX.
RUN - 10" MIN.
NOSEING - 1" MIN.
HEADROOM - 6'5" MIN.
HANDRAILS - 32" MIN. TO 36" MAX.
GUARDRAILS - 35" MIN. TO 42" MAX.
PICKETS TO HAVE 4" MAX. SPACE BETWEEN.

OPEN HANDRAILS AND ALL ATTACHMENT OF GUARDS AND RAILS AS PER SUPPLEMENTARY GUIDE LINE TO OBC 2012, SECTIONS S87.

NOTE: SMOKE DETECTORS/ALARMS TO HAVE MIN. 7 DAY BATTERY BACKUP IF HARDWIRED

PROVIDE REINFORCEMENT (BLOCKING) IN MAIN BATHROOM FOR FUTURE INSTALLATION OF GRAB BARS ON WALLS ADJACENT TO:

- A WATER CLOSET PER OBC 3.8.38 (1)(d)
- A SHOWER OR BATHTUB PER OBC 3.8.3.13(1)(ii)



SUPPLIER:

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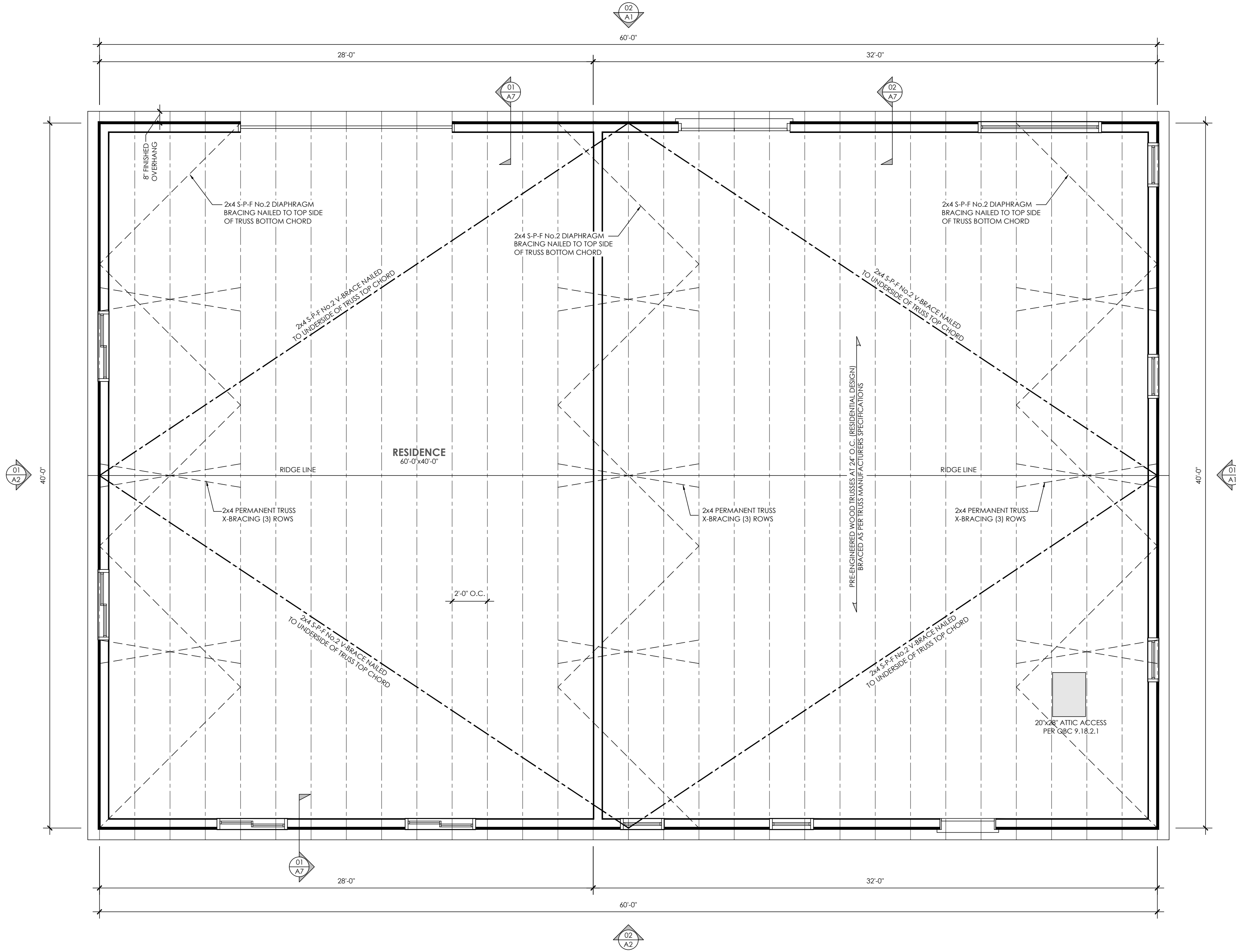
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4		

CHRIS EMERY RESIDENCE
CURRIE ROAD, DUTTON, ON

SECOND FLOOR PLAN

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REVIEWED BY: Y.C. LIU
DATE: APRIL 3, 2024
SHEET: 5 OF 7

A5



SUPPLIER:

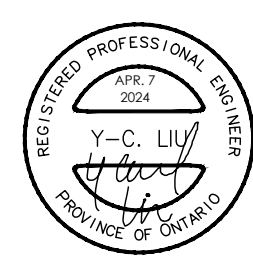
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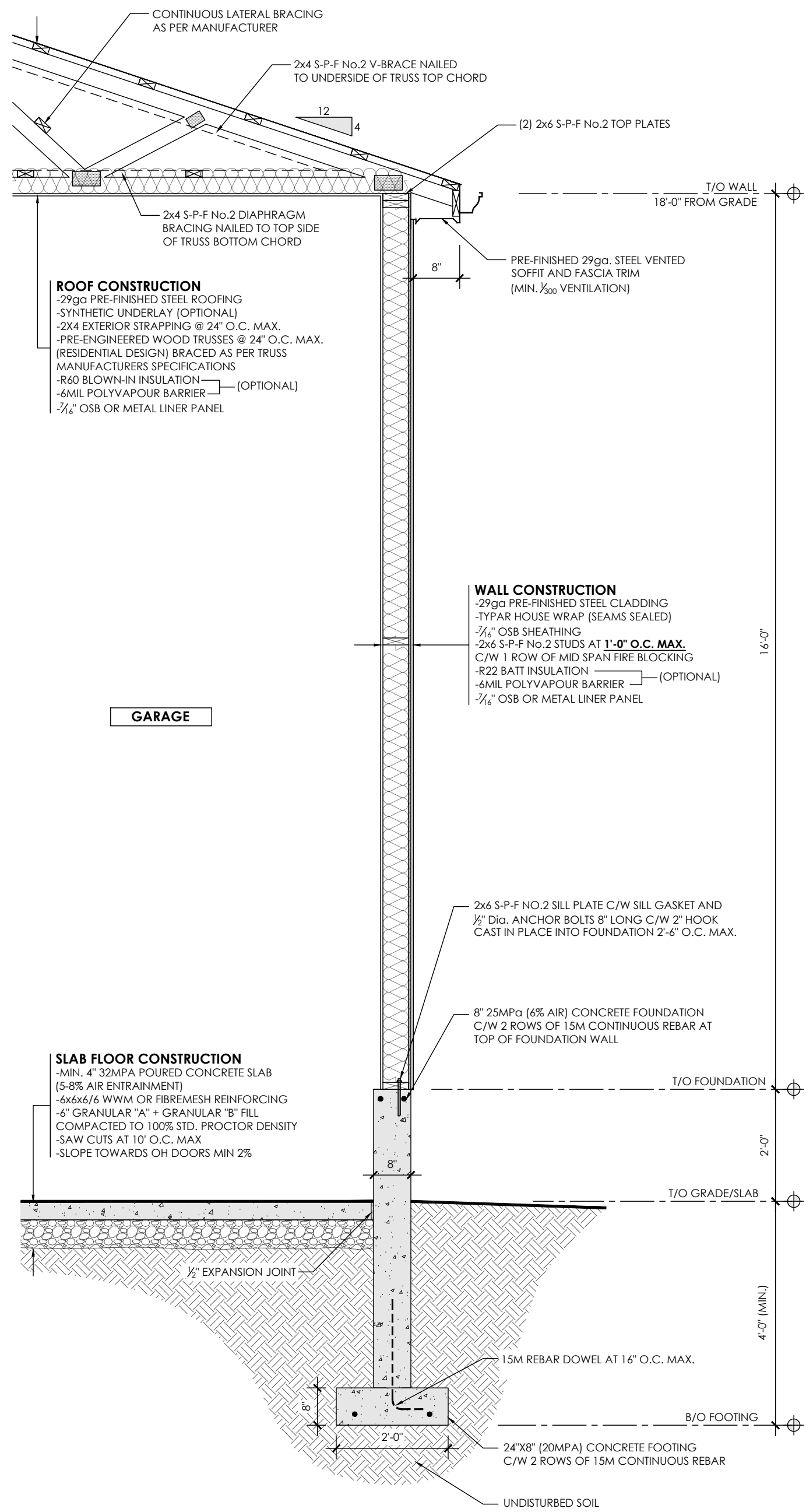


CHRIS EMERY RESIDENCE
CURRIE ROAD, DUTTON, ON

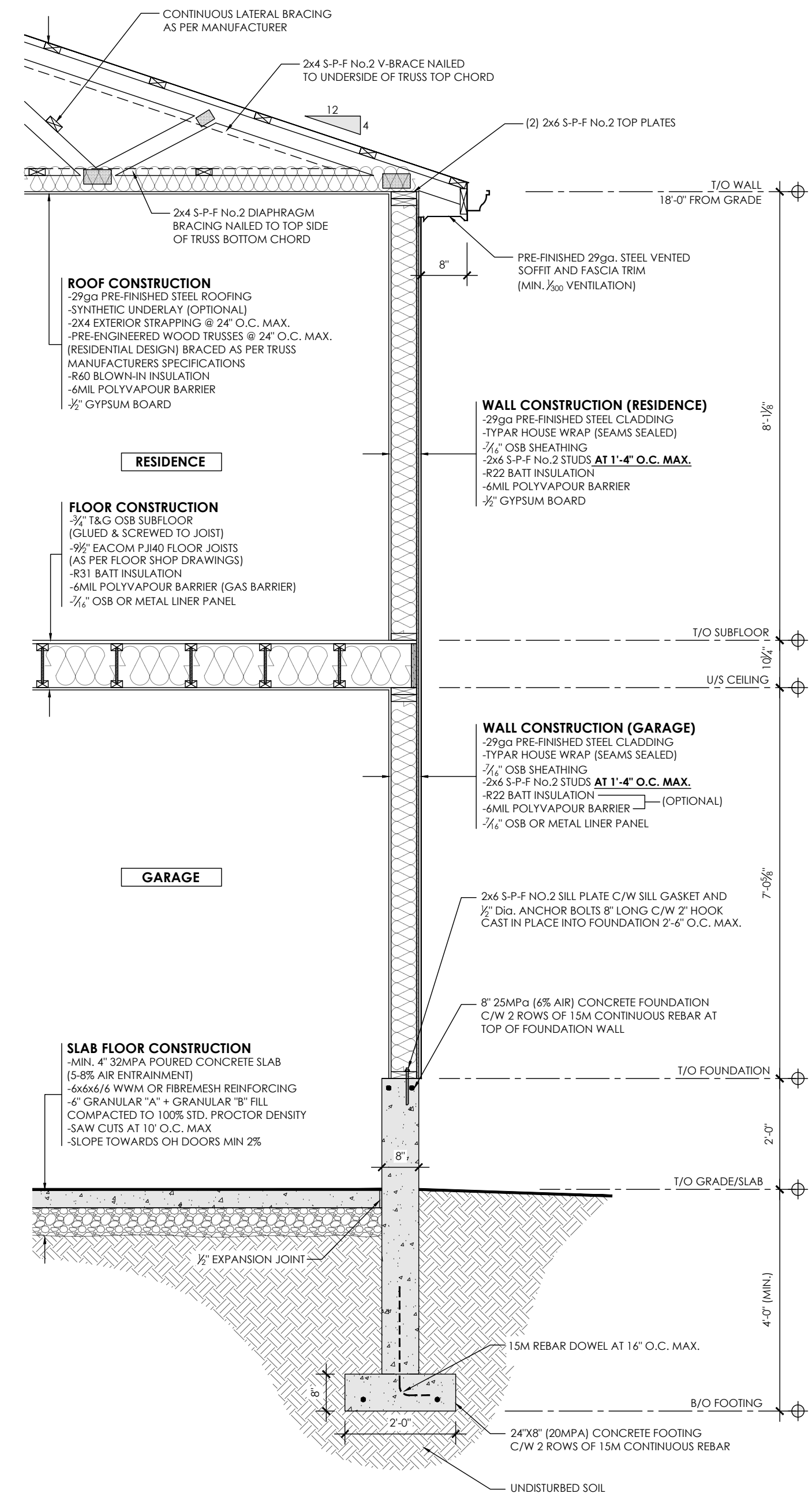
ROOF FRAMING PLAN

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REVIEWED BY: Y.C. LIU
DATE: APRIL 3, 2024
SHEET: 6 OF 7

A6



01 WALL SECTION
 A7 SCALE: 1/2" = 1'-0"



02 WALL SECTION
 A7 SCALE: 1/2" = 1'-0"

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CHRIS EMERY RESIDENCE
 CURRIE ROAD, DUTTON, ON

SECTIONS AND DETAILS

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 REVIEWED BY: Y.C. LIU
 DATE: APRIL 3, 2024
 SHEET: 7 OF 7

A7

